



CITY OF PORT ORANGE

DATE APPLICATION RECEIVED

Department of Community Development
Engineering Division

1000 CITY CENTER CIRCLE, PORT ORANGE, FLORIDA 32129 (386) 506-5600 FAX: 386-506-5699
(www.port-orange.org)

APPLICATION FOR IMPROVEMENTS IN THE RIGHT-OF-WAY

Applicant/Owner's Name: _____

Address: _____ Phone: _____

Property Address/Location: _____

Subdivision Name (If applicable): _____

Does Subdivision have a Homeowners Association? _____ Yes _____ No

Description of Request: _____

Speed Limit for Subject Road: _____ Type of Curbing: _____

List Type and Size of any Proposed Shrubs: _____

List Type and Size of any Proposed Trees: _____

List Type and Size of Other Improvements (Decorative paving, irrigation, lighting, etc...): _____

REQUIRED ATTACHMENTS

- A copy of the property deed
- A sealed property survey
- A detailed sketch of the right-of-way with the proposed landscaping and other improvement information clearly depicted and dimensioned
- Photos (optional)
- Letter of approval from the Homeowners Association (HOA) if applicable
- Other documentation (as requested by the City)
- Processing fee (\$75)

PLEASE NOTE: All utilities must be located prior to planting. Shade trees cannot be planted under overhead lines. The City reserves the right to remove or cause to remove the above listed improvements without obligation to replace the listed improvements. The City reserves the right to require the Licensee to obtain liability insurance in cases where pavers or signage are proposed in the right-of-way.

Property Owner Signature: _____ Date: _____

Printed Name : _____

**STATE OF FLORIDA
COUNTY OF VOLUSIA**

The foregoing instrument was acknowledged before me by means of [] physical presence or [] online notarization this _____ day of _____, 20 ____ by _____, who [] is personally known to me or [] who has produced _____ as identification.

Notary Public, State of Florida
Printed Name, Commission, & Term Expiration Date:

Property Owner Signature: _____ Date: _____

Printed Name : _____

**STATE OF FLORIDA
COUNTY OF VOLUSIA**

The foregoing instrument was acknowledged before me by means of [] physical presence or [] online notarization this _____ day of _____, 20 ____ by _____, who [] is personally known to me or [] who has produced _____ as identification.

Notary Public, State of Florida
Printed Name, Commission, & Term Expiration Date:

The following owner affidavit of authorization is only required with the Applicant is not the Property Owner.

OWNER AFFIDAVIT OF AUTHORIZATION

_____ hereby authorizes _____ ,
(Property Owner Name) (Applicant Name)

and its agents, to make application for _____ Improvements In The Right-Of-Way _____ to
(Type of Application requested)

the City of Port Orange for property described on the attached application form.

Property Owner Signature: _____

First and Last Name of Signatory: _____

Date: _____

**STATE OF FLORIDA
COUNTY OF VOLUSIA**

The foregoing instrument was acknowledged before me by means of [] physical presence or [] online
notarization this _____ by _____ ,
(Date) (Name of Person Acknowledging)

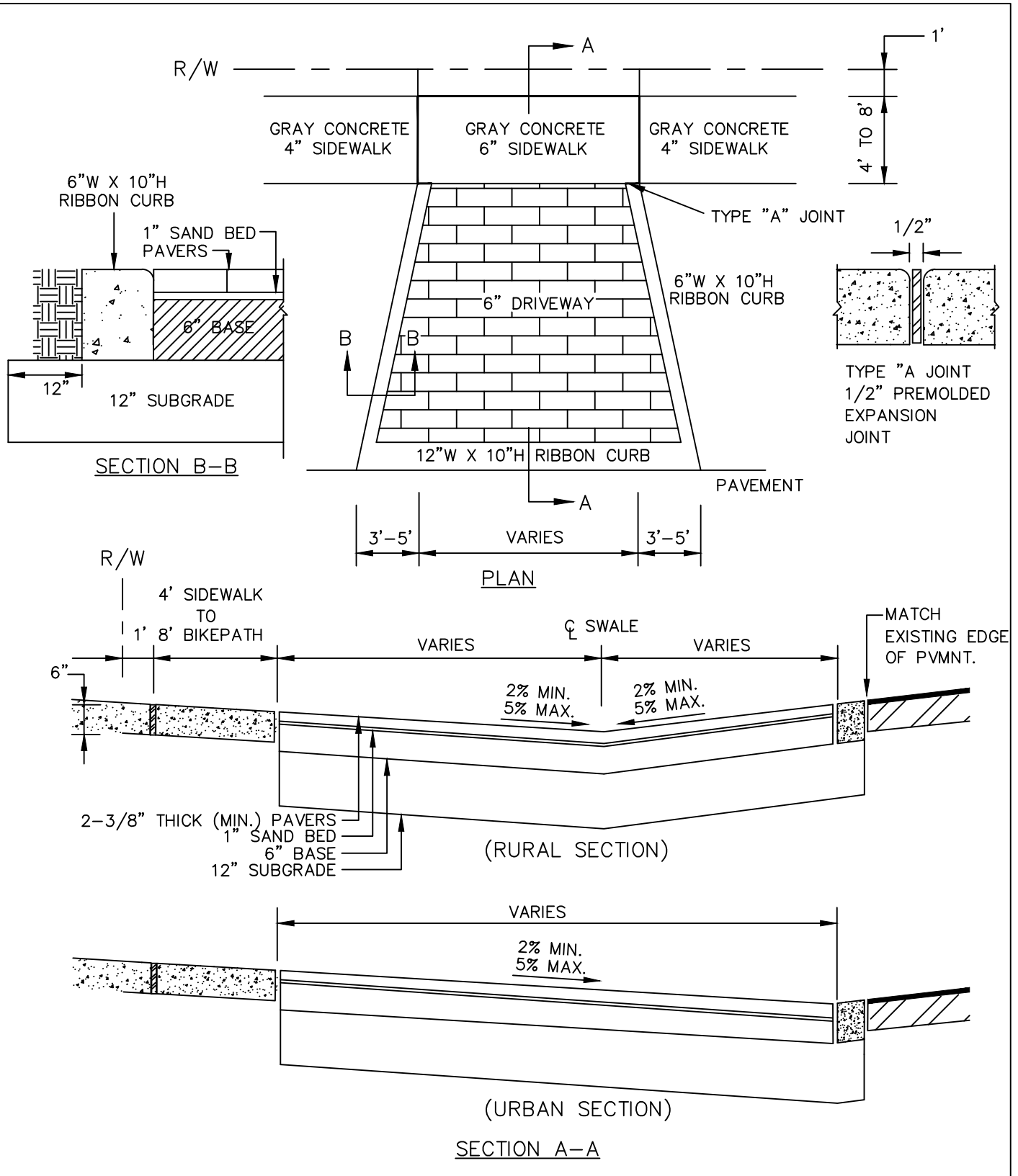
who [] is personally known to me or [] who has produced _____ as identification.
(Type of Identification)

_____ Notary Public, Commission No. _____
(Signature)

(Name of Notary typed, printed, or stamped)

EXHIBIT "A"

(Survey / Site plan with "License Agreement Area" noted)



STANDARD CONSTRUCTION DETAIL
DRIVEWAY BRICK PAVER APRON

REV. 12/18

FILE NAME:

R17.DWG

DETAIL REF:

R-17

NOTES:

1. ALL MATERIALS ARE TO BE INSPECTED AND APPROVED PRIOR TO INSTALLATION BY THE CITY'S DESIGNATED SITE INSPECTOR.
2. RIBBON CURB AND PAVERS WILL BE MAINTAINED BY PROPERTY OWNER FRONTING DRIVEWAY.
3. EXISTING DRAINAGE FLOWS AND PATTERNS MUST BE MAINTAINED DURING AND AFTER CONSTRUCTION. PROPOSED CONSTRUCTION SHALL NOT IMPACT ADJACENT PROPERTIES AND ROADWAY DRAINAGE SYSTEM.
4. ALL EXISTING WATER VALVES, SANITARY CLEANOUTS AND MANHOLE COVER TOP ELEVATIONS SHALL BE ADJUSTED TO MATCH FINAL DRIVEWAY BRICK GRADES TO AVOID TRIPPING HAZARDS.
5. ALL EXISTING WATER METERS SHALL BE RELOCATED OUTSIDE THE DRIVEWAY CONSTRUCTION LIMITS. RELOCATE METERS MINIMUM 36" OUTSIDE EDGE OF DRIVEWAY.
6. 12" RIBBON CURB ADJACENT TO EDGE OF PAVEMENT IS NOT REQUIRED WHEN STREET CURB EXISTS (TYPICALLY MIAMI CURB). IN SUCH CASES, BRICK PAVER DRIVEWAY SHALL BE CONSTRUCTED UP TO EXISTING STREET CURB. EXISTING CURB SHALL NOT BE DAMAGED DURING CONSTRUCTION. OWNER SHALL INCUR ALL LABOR AND MATERIAL COSTS TO REPLACE STREET CURB IF DAMAGED.
7. 6" LIMEROCK (LBR 100) OR CRUSHED CONCRETE (LBR 130) BASE SHALL BE COMPACTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST.
8. LIMEROCK OR CRUSHED CONCRETE BASE SHALL BE ALLOWED ONLY WHERE LOWEST ELEVATION OF THE DRIVEWAY SUBGRADE IS A MINIMUM OF 6" ABOVE THE SEASONAL HIGH WATER TABLE. IN AREAS NOT MEETING THIS STANDARD, A SOIL CEMENT BASE WILL BE REQUIRED. PORTLAND CEMENT CONCRETE MAY BE USED INSTEAD OF RECYCLED CONCRETE OR LIMEROCK REGARDLESS OF THE SEASONAL HIGH WATER TABLE DEPTH.
9. 12" SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR 40 AS SPECIFIED BY FDOT REQUIREMENTS FOR TYPE B STABILIZED SUBGRADE AND COMPACTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST.



STANDARD CONSTRUCTION DETAIL
DRIVEWAY BRICK PAVER APRON
(CONTINUED)

REV. 12/18

FILE NAME:

R17.DWG

DETAIL REF:

R-17.1

PAVER MANUFACTURER SPECIFICATIONS (include color photo):

Manufacturer:

Paver Style Name:

Paver Block Dimensions:

Paver Block Color:

Paver Placement Pattern:

Paver Area Containment Border:

Paver Minimum Compressive Strength:

Paver Bedding and Joint Filler Material:

Paver Base Material, Thickness, and Compaction Requirement: Paver

Subgrade Compaction Requirement:

LANDSCAPING AND OTHER IMPROVEMENTS IN THE RIGHT OF WAY

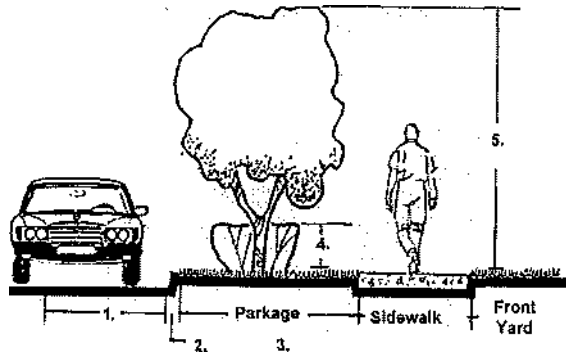
Recognizing the need to provide for safe and attractive landscaped neighborhoods throughout Port Orange, the City has developed policies and procedures to allow homeowners a way to more easily secure City approval for landscaping and other improvements within the road right-of-way in front of their residence.

What is Right-of-Way?

Generally, the road right-of-way in front of a residence includes the paved street, sidewalk, and the grassed area, or "parkage," between the street and the sidewalk. Public right-of-way areas are owned by the City, County, or State. In the case of private streets, the right-of-way is owned by either individuals or the neighborhood's Homeowners Association (HOA). The City's policy on landscaping and other improvements in the right-of-way applies only to those road rights-of-way owned by the City. The City does not have authority over the use of right-of-way owned by other parties.

What Kind of Improvements are permitted?

Under the City's right-of-way license agreement policy, residents may receive City approval to install irrigation, specialty paving, lighting, and plant select varieties of trees and shrubs in the "parkage" (see illustration below) in front of their homes. Approval to install improvements is based upon a consideration of safety (including required line-of-sight distances and other possible hazards to motorists and pedestrians), aesthetics, and potential for interference with present and future utility and right-of-way improvements.



How Do I Apply for City Approval?

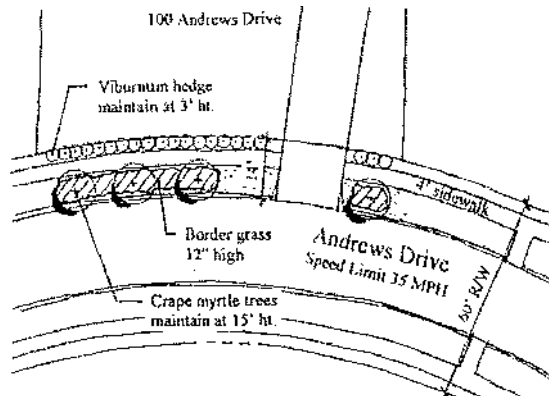
Residents seeking approval to install improvements within City right-of-ways are required to sign a license agreement with the City. The license agreement is a legally binding contract that outlines the homeowner's responsibility for installation and maintenance of the improvements, as well as the homeowner's assumption of all liability and costs incurred if removal of the improvements by the City becomes necessary.

Where Can I Get an Application Form?

If you are interested in landscaping or installing other improvements in the right-of-way in front of your home, application forms and sample license agreements are available from the Department of Community Development, located on the second floor of the City Hall building, or by calling (386) 506- 5600.

What Must I Include in an Application?

1. Proof of ownership of the property (Deed)
2. A letter of approval from the HOA for residents who live in subdivisions with an HOA.
3. A sealed property survey
4. A detailed sketch of the right-of-way with the appropriate landscaping and other improvement information clearly depicted (see illustration below)
5. Processing fee (\$75)

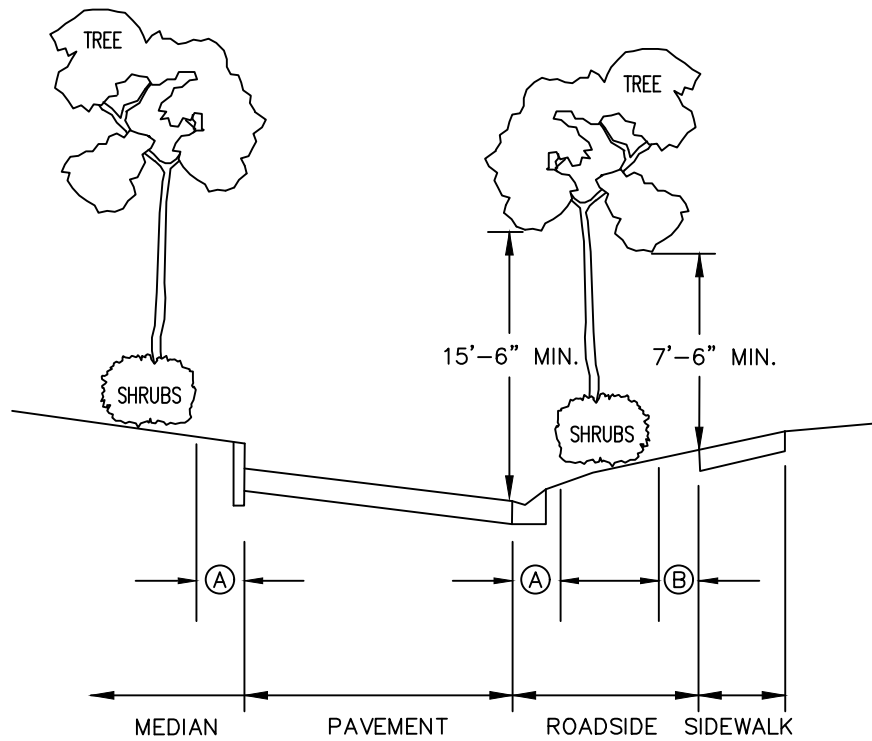


Sketch Directions

1. Please indicate the speed limit for the subject road.
2. Please indicate which type of curb borders your package. There are two standard types: a six (6) inch curb and gutter or a "mountable" curb, which runs flush with the road pavement.
3. Please indicate the dimension of your package. The package is that area between the road and the front edge of the sidewalk. If a sidewalk is not present, the package includes the area between the property line and the edge of the road.
4. If shrubs are intended for this area, please provide the name of the shrub(s) and the overall height they will reach at maturity or height you will maintain them at.
5. If trees are intended for this area, please provide the name of the tree(s) and the overall height they will reach at maturity or height you will maintain them at.
6. If irrigation, decorative paving, lighting, or other improvements are intended for this area, please illustrate and label them.

The purpose of this information sheet is to provide the community with basic information about the requirements for landscaping and other improvements in right-of-way areas. This information is just an overview of the City's requirements and is intended to serve as a general guide. For more information, please contact the Department of Community Development at (386) 506-5600, or stop by the Department at 1000 City Center Circle, on the second floor of City Hall.

CITY OF PORT ORANGE
Department of Community Development
1000 City Center Circle
Port Orange, Florida 32129
(386) 506-5600
FAX (386) 506-5699



Ⓐ ROADWAY CLEAR ZONES PER TABLE BELOW, MINIMUM:

DESIGN SPEED (MPH)				
25 & BELOW	30	35	40	45+
6'	6' LOCAL 10' COLLECTOR 14' ARTERIAL	6' LOCAL 10' COLLECTOR 14' ARTERIAL	10' COLLECTOR 14' ARTERIAL	FDOT STANDARD

Ⓑ SIDEWALK CLEAR ZONE SHALL BE PER FDOT GREENBOOK (LATEST EDITION)



STANDARD CONSTRUCTION DETAIL
ROADWAY LANDSCAPING LAYOUT AND NOTES

REV. 12/18

FILE NAME:

R2.DWG

DETAIL REF:

R-2

NOTES:

1. FDOT CLEAR ZONE MAY BE REDUCED ON CAPITAL RECONSTRUCTION AND MAINTENANCE PROJECTS UPON APPROVAL BY THE CITY'S PROFESSIONAL ENGINEER.
2. TREES IN EXCESS OF 12" CALIPER AT MATURITY AND MULTI-TRUNKED PALMS SHALL BE SET BACK TO TWICE THE MINIMUM CLEAR ZONE (2 X *).
3. WHERE PAVEMENT WIDENING IN ACCORDANCE WITH FDOT STANDARDS IS NOT PROVIDED IN HORIZONTAL CURVES, ADDITIONAL CLEAR ZONE SHALL BE PROVIDED EQUAL TO THE REQUIRED PAVEMENT WIDENING.
4. CLEAR ZONES ON CURBED ROADS SHALL BE MEASURED FROM THE FACE OF CURB OR FROM THE EDGE OF THE THROUGH LANE ON RURAL ROADS. CURBED ROADS REFER TO HIGH BACK CURBS ONLY.
5. SHRUBS ADJACENT TO SIDEWALKS AND WITHIN INTERSECTION SIGHT TRIANGLES CANNOT EXCEED 24" ABOVE THE LOWEST ADJACENT ROADWAY GRADE. ALL OTHER SHRUBS MUST BE LESS THAN OR EQUAL TO 30" IN HEIGHT.
6. INSTALLATION OF LANDSCAPING IN PUBLIC RIGHTS-OF-WAY REQUIRES EXECUTION OF A "LICENSE AGREEMENT" BETWEEN THE DEVELOPER AND THE CITY. FOR INSTANCES WHERE THE STREETS AND PRIVATE AND PUBLIC UTILITY EASEMENTS ARE PROVIDED, THE DEVELOPER MAY BE REQUIRED TO OBTAIN A RELEASE FROM THE FRANCHISE UTILITIES IN ORDER TO INSTALL THE LANDSCAPE IMPROVEMENTS.
7. LANDSCAPING PLANS SHALL CLEARLY DEPICT THE DESIGN LOCATION OF PLANTINGS RELATIVE TO THE LOCATION OF UNDERGROUND AND OVERHEAD PUBLIC UTILITIES AND STORMWATER INFRASTRUCTURE IN ORDER TO EVALUATE POTENTIAL CONFLICTS.
8. SHRUBS, UNDERSTORY TREES AND PALMS SHALL BE ALLOWED IN THE RIGHT-OF-WAY WITH EXISTING AND PROPOSED UTILITIES. SHADE TREES, ESPECIALLY THOSE WITH AGGRESSIVE ROOT SYSTEMS, WILL REQUIRE SPECIFIC CITY APPROVAL.
9. SHADE TREES MUST NOT BE PLANTED UNDER OR DIRECTLY ADJACENT TO OVERHEAD UTILITIES THAT WOULD REQUIRE EXCESSIVE PRUNING TO AVOID THE UTILITY LINES.
10. TREES WITH AGGRESSIVE ROOT SYSTEMS SHALL REQUIRE SOME FORM OF ROOT GUIDING SYSTEM TO PREVENT THE UPHEAVAL OF ADJACENT ROADWAY PAVEMENT AND/OR SIDEWALKS.



STANDARD CONSTRUCTION DETAIL
ROADWAY LANDSCAPING LAYOUT AND NOTES
(CONTINUED)

REV. 12/18

FILE NAME:

R2.DWG

DETAIL REF:

R-2.1